

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
SEPTEMBER 14, 2021 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 261 009 5007

Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on September 14, 2021 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. APPROVAL OF VOUCHERS
2. MINUTES - January 5, 2021 Meeting
3. MINUTES - February 2, 2021 Meeting
4. MINUTES - February 23, 2021- Meeting
5. MINUTES - May 18, 2021 Meeting

RESOLUTION

6. #45-2021 - Ferchak, Laura & Bill - 7 Meadow Avenue - Application # 29-2021
7. #48-2021 - Salt Air Properties - 43 Beachfront/42 First Avenue - Application #32-2021
8. #49-2021 Baldino, John & Cheryl - 74 Ocean Avenue - Application #33-2021

APPLICATION

9. #36-2021 Hurley, Brian & Carly - 8 Old Squan Road - Block 45.03; Lot 54
10. #37-2021 Michals, Jeffrey - 297 Euclid Avenue - Block 118; Lot 25.02
11. #39-2021 McCarthy, Robert - 557-559 Brielle Road - Block 182.01; Lot 30

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

July 13, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1640
Variance – Hurley
Block 45.03, Lot 54
8 Old Squan Road
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Location Survey Map prepared by Rodolfo Pierri, PLS, dated February 9, 2021.
2. Existing Front Setback Survey Map prepared by Rodolfo Pierri, PLS, dated February 9, 2021.
3. Architectural Floor Plans, Elevations, and Site Plan prepared by Tom Peterson, RA, dated April 28, 2021.

The property is located in the R-2 Single-Family Residential Zone with frontage on Spruce Avenue and Old Squan Road. With this application, the applicant proposes to construct a second story and half story addition with dormers on the existing dwelling, new covered front porch, interior alterations and new paver patio. The application is deemed complete as of July 13, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum side yard setback of 15 feet is permitted (corner lot to Old Squan Road), whereas a setback of 10.6 feet is proposed to the new covered porch (17.6 feet exists).
 - b. A maximum building coverage of 30% is permitted, whereas a coverage of 30.8% is proposed (27.8% exists).



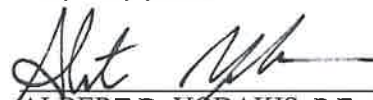
Re: Boro File No. MSPB-R1640
Variance – Hurley
Block 45.03, Lot 54

July 13, 2021
Sheet 2

- c. Patios are prohibited in the side yard, whereas the proposed paver patio is to be located in the easterly side yard.
3. The following non-conformities exist on Lot 54 and are not proposed to be modified as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 9.3 feet exists.
4. The applicant should confirm that the proposed half-story dormer length is 10 feet or less or an additional variance will be necessary.
5. The applicant must confirm there are no proposed grading changes or fill to be imported to the site. If grading revisions or additional impervious areas are proposed, a revised grading plan must be submitted.
6. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition does not increase the building footprint by more than 500 square feet.
7. It does not appear that any existing trees will be removed as part of the application, however the applicant should confirm that the existing street tree will not be damaged by the proposed covered porch.
8. If proposed, the location of any additional air conditioning units must be shown on the plan. They must be located within the rear yard area or a variance must be requested.
9. Any curb and sidewalk must be replaced along Old Squan Road and Spruce Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy



Re: Boro File No. MSPB-R1640
Variance – Hurley
Block 45.03, Lot 54

July 13, 2021
Sheet 3

cc: George McGill, esq., Planning Board Attorney
Tom Peterson, RA
6 Country Lane, Howell, NJ 07731
Brian Hurley
8 Old Squan Road, Manasquan, NJ 08736

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Brian and Carly Hurley

*Applicant's Address: 8 Old Squan Rd. Manasquan, NJ 08736

*Telephone Number: Home: _____ Cell: 732 245 7354

*e-mail Address: welshc19@gmail.com

*Property Location: 8 Old Squan Rd.

*Block: 45.03 Lot: 54

*Type of Application: Bulk Variance

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: May 19, 2021

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? No

*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? No

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.


Signature of Applicant or Agent

June 27, 2021
Date

06/2021

CONSTRUCTION DEPARTMENT
BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

May 19, 2021

Tom Petersen, Architect
6 Country Lane
Howell, NJ 07731

Re: Block: 45.03 Lot: 54 Zone: R-2
Hurley – 8 Old Squan Road

Dear Sir:

On this date we reviewed your application for the following project.

Construct a two story addition over the existing building footprint, covered porch in the side yard, single story side addition, paver patio in the side yard and other interior alterations and renovations.

Survey prepared by Rodolfo Pierri on February 9, 2021. Front yard average survey for Spruce Avenue prepared by Rodolfo Pierri on February 9, 2021. Front yard average survey for Old Squan Road prepared by Rodolfo Pierri on February 9, 2021. Plot plan and conceptual plans prepared by Tom Petersen on April 28, 2021.

Application denied for the following reason(s):

Section 35-9.4 – Rear Setback – 20ft. Required
9.3ft. Existing

“ - Side Setback (Old Squan) – 15ft. Required
17.6ft. Existing
10.6ft. Proposed

“ - Building Coverage – 30% Permitted
27.8% Existing
30.8% Proposed

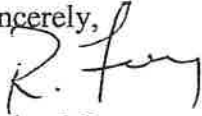
Section 35-11.8k – Prohibits locating a patio in the side yard.

Additional required documentation:

- Prior approval from the Shade Tree Committee regarding the removal of any trees on the property.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

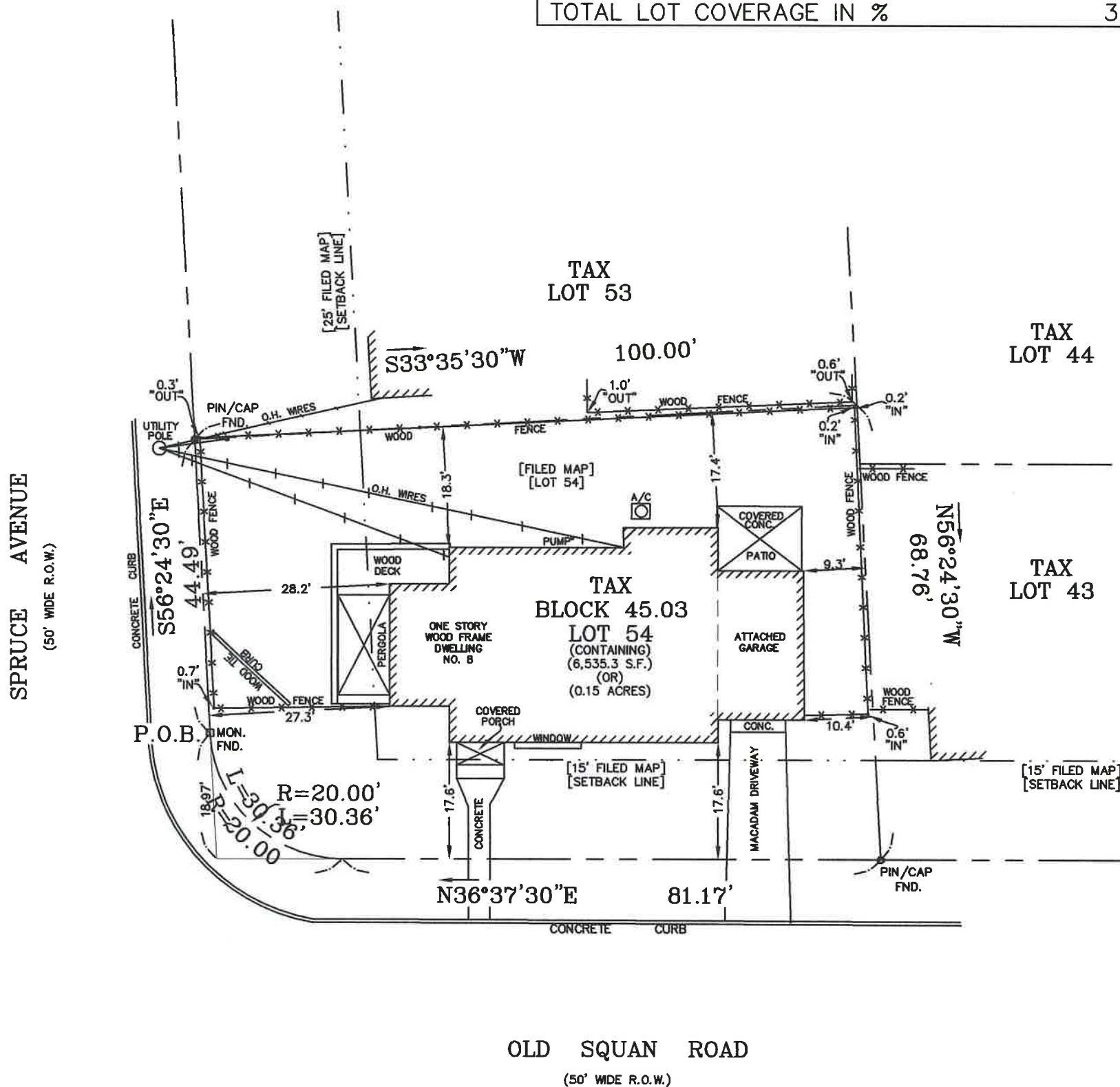
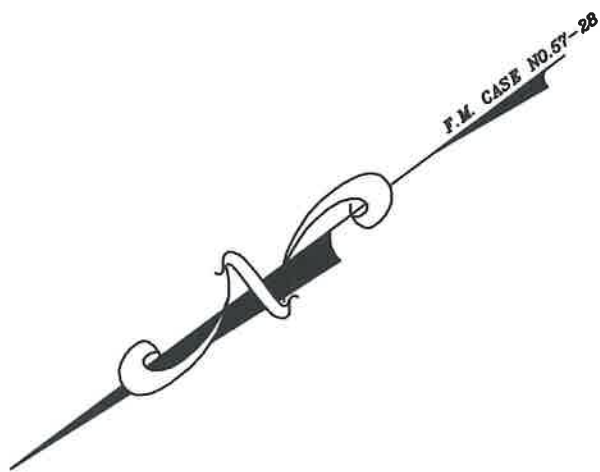


Richard Furey
Zoning/Code Enforcement Officer

NOTES:
 THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY
 STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 THIS SURVEY IS SUBJECT TO ANY FACTS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED
 FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).
 NO SUB-SURFACE UTILITIES SHOWN ON SURVEY.

EXISTING LOT COVERAGE CALCULATIONS

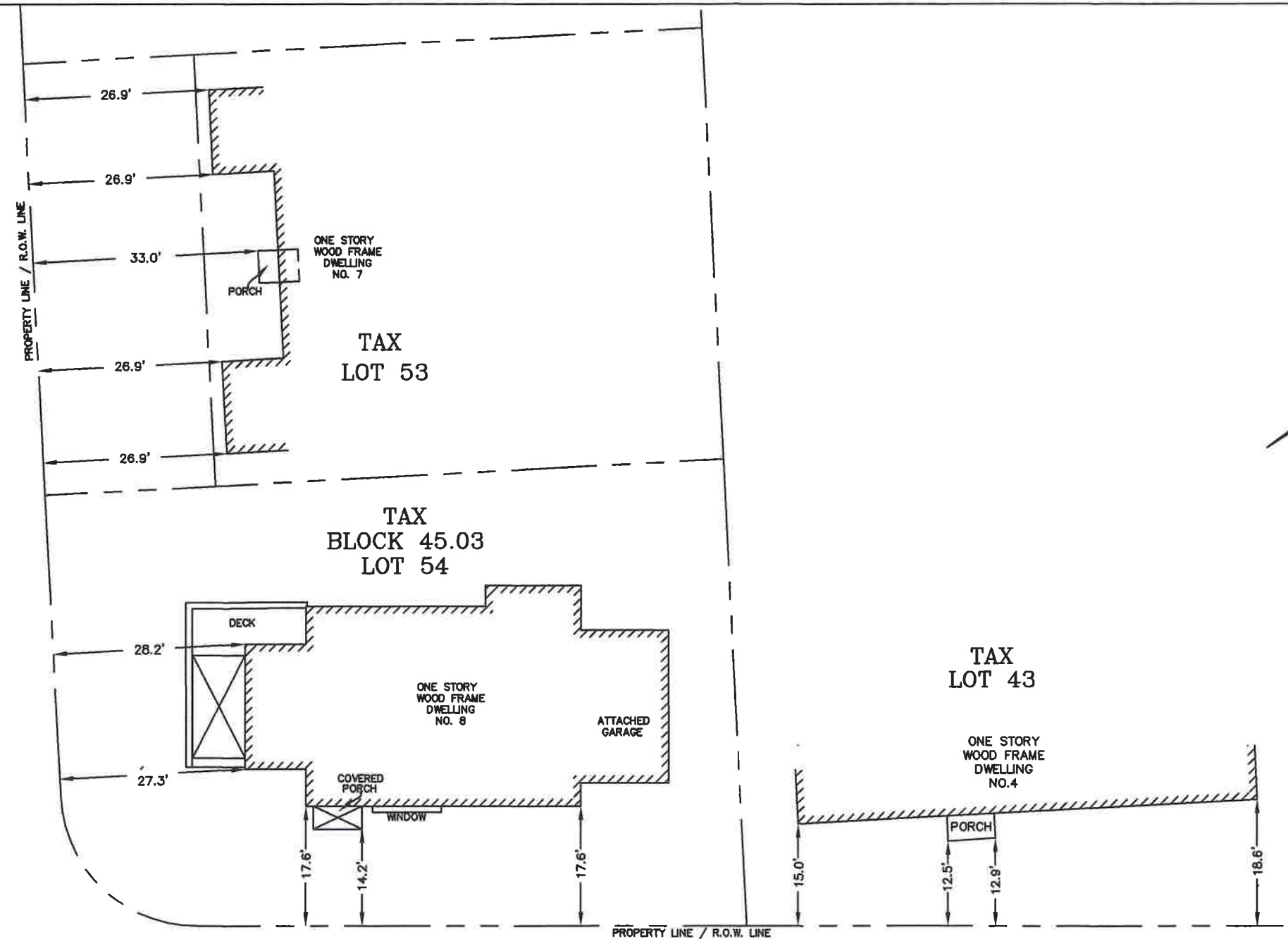
ZONE R-2	
TOTAL LOT AREA	6,535.3 S.F.
DWELLING & GARAGE	1,695.0 S.F.
DRIVEWAY AND WALKS	232.8 S.F.
PORCH AND STEPS	39.0 S.F.
CONC. PATIO	123.7 S.F.
WOOD DECK	NOT INCLUDED
A/C PAD	6.0 S.F.
TOTAL LOT COVERAGE IN S.F.	2,096.5 S.F.
TOTAL LOT COVERAGE IN %	32 %



MAP REFERENCE:
 "SUBDIVISION PLAT OLD SQUAN VILLAGE BORO OF MANASQUAN
 MONMOUTH COUNTY NEW JERSEY" DATED DECEMBER 3, 1956 SAID
 MAP WAS DULY FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON
 JANUARY 17, 1957, IN CASE 57-28.

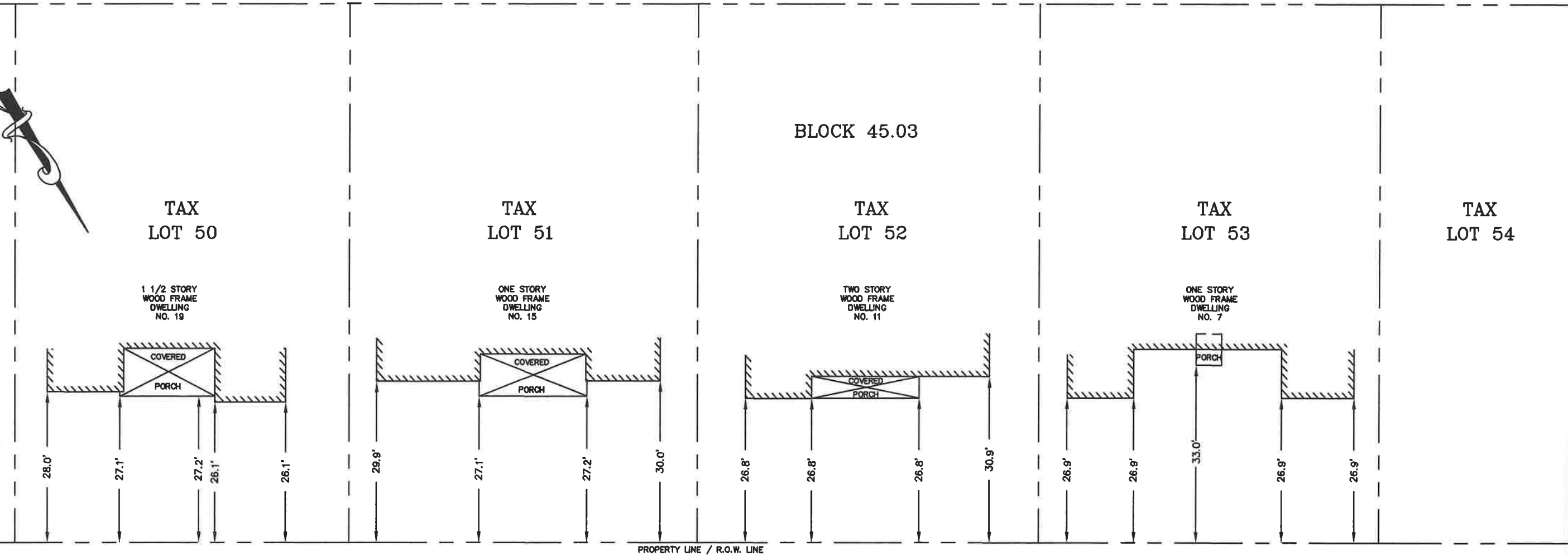
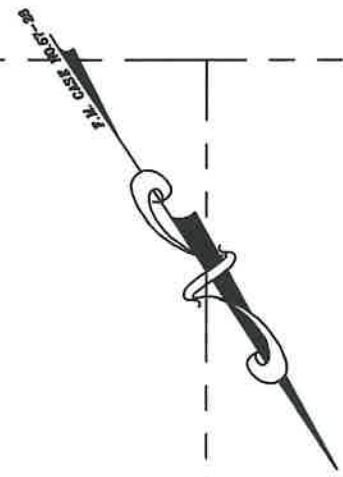
CHECKED BY: RON P.	DRAWN BY: R.P. / M.P.	LOCATION SURVEY MAP	
RODOLFO PIERRI P.L.S. 		OF PROPERTY OF BRIAN HURLEY AND CARLY WELSH SITUATED IN THE BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY TAX BLOCK 45.03 LOT 54	
		CERTIFIED AS MY PROFESSIONAL OPINION TO: BRIAN HURLEY AND CARLY WELSH.	
DATE OF SIGNATURE <u>3/29/2021</u> N.J. LAND SURVEYOR LICENSE NO.24GS03860600		(PHONE) SHARK RIVER LAND SURVEYING LLC (PHONE) 732-807-3606 NEPTUNE CITY NEW JERSEY 07753 201-923-1507 <small>CERTIFICATE OF AUTHORIZATION NO.24CA29307000</small>	
SCALE: 1"=20'	DATE OF SURVEY 2/9/2021	DRAWING NO.: 21-848	SHEET NO.: 1/1

SPRUCE AVENUE




OLD SQUAN ROAD

CHECKED BY: RON P.	DRAWN BY: R.P.	EXISTING FRONT SETBACK SURVEY MAP	
RODOLFO PIERRI P.L.S.		SITUATED IN THE BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY TAX BLOCK 45.03	
DATE OF SIGNATURE 3/29/2021 N.J. LAND SURVEYOR LICENSE NO. 24GS03860600		(PHONE) SHARK RIVER LAND SURVEYING LLC 732-807-3606 NEPTUNE CITY NEW JERSEY 07753 <small>CERTIFICATE OF AUTHORIZATION NO. 24GA26307000</small>	
SCALE: 1" = 20'	DATE OF SURVEY: 2/9/2021	DRAWING NO.: 21-848	SHEET NO.: 1/2



PROPERTY LINE / R.O.W. LINE

SPRUCE AVENUE

DESIGNED BY: RON P.	DRAWN BY: R.P.	EXISTING FRONT SETBACK SURVEY MAP
RODOLFO PIERRI P.L.S.  DATE OF SIGNATURE 3/29/2021 N.J. LAND SURVEYOR LICENSE NO. 24GS03860600		
SITUATED IN THE BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY TAX BLOCK 45.03		
(PHONE) SHARK RIVER LAND SURVEYING LLC 732-807-3606 NEPTUNE CITY NEW JERSEY 07753 <small>CERTIFICATE OF AUTHORIZATION NO. 24GA0007000</small>		
SCALE: 1"=20'	DATE OF SURVEY 2/9/2021	DRAWING NO.: 21-848
		SHEET NO.: 2/2



FRONT (NE) ELEVATION (SPRUCE AVENUE)
SCALE: 1/4" = 1'-0"



FRONT (NW) ELEVATION (OLD SPRUCE ROAD)
SCALE: 1/4" = 1'-0"



REAR YARD (SW) ELEVATION
SCALE: 1/4" = 1'-0"



SIDE YARD (SE) ELEVATION
SCALE: 1/4" = 1'-0"

ATTIC FLOOR
2ND FLOOR
1ST FLOOR

REVISIONS	BY

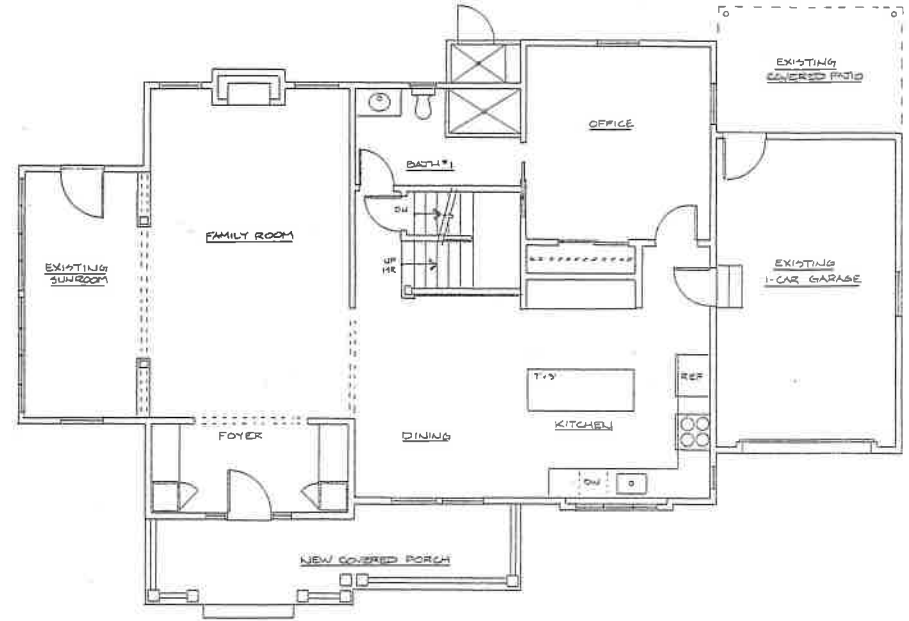
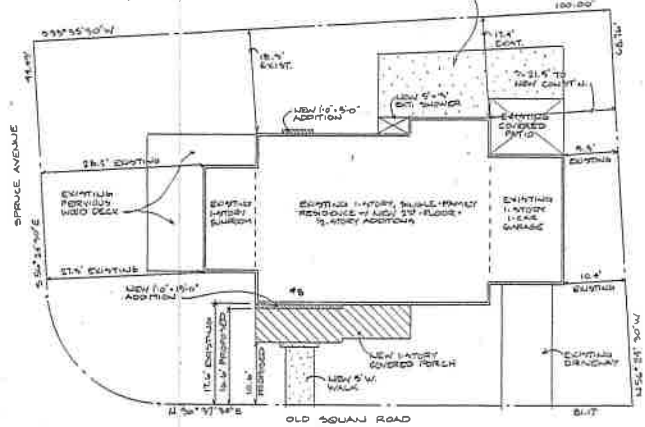
Tom Petersen • ARCHITECT
6 COUNTRY LANE • HOWELL • NEW JERSEY
732-734-1783 FAX
732-736-1783
N.J. ARCH. LIC. NO. A18871

HURLEY RESIDENCE
ADDITION • REVISIONS
8 OLD SPRUCE RD, MAUNTON NJ
BLOCK 150'S • LOT 94

ELEVATIONS

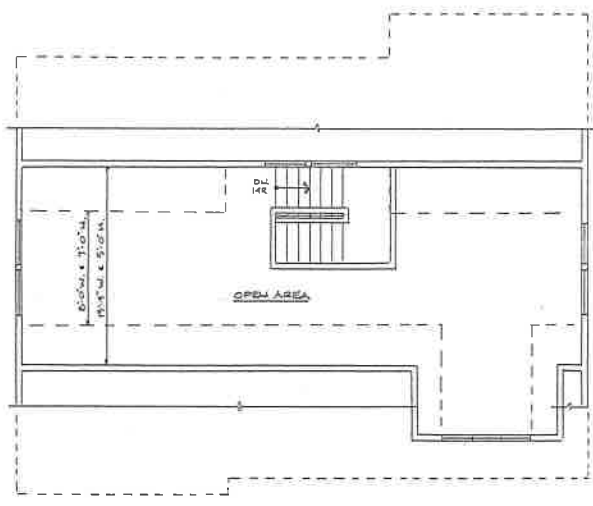
DATE: 1-24-21
SCALE: 1/4" = 1'-0"
DRAWN BY: TP
PROJECT #: 2108
SHEET NO.
2
OF 2 SHEETS

SITE PLAN
SCALE: 1/4" = 1'-0"



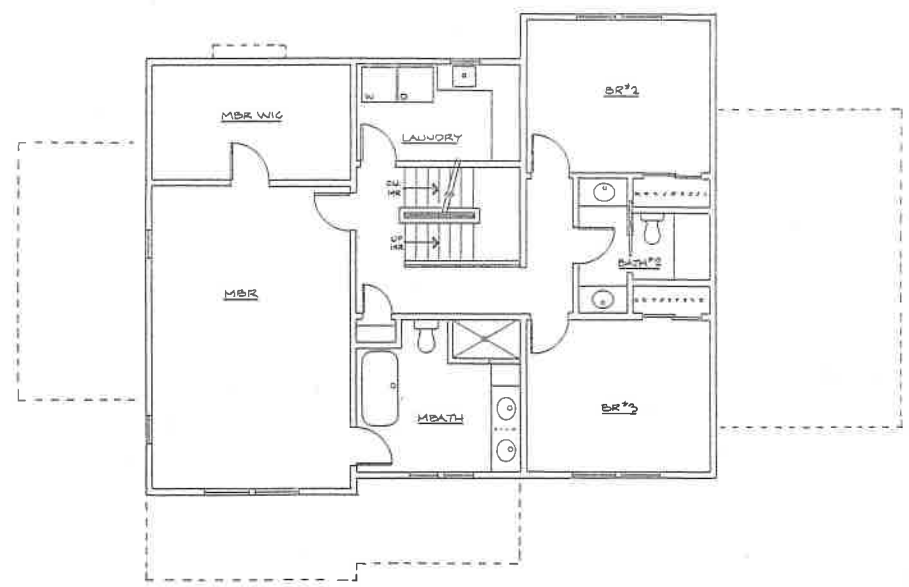
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

8 Old Squan Road, Manasquan NJ Block 46.03, Lot 64		Zoning Summary		
Project Description				
1. Construct new 2nd floor and 1 1/2-story addition on existing 1-story single-family residence. 2. Construct new 1-story covered porch and new exterior shower. 3. Add new 1' addition at new front entry and new rear fire escape. 4. Existing rear covered patio, north side wood deck, and covered driveway to remain as is. 5. Variances required for: a. Front yard setback at Old Squan Road (18' required, 17' existing, 10' proposed) b. Rear yard setback at Old Squan Road (20' required, 18' existing and proposed) c. Building coverage (30% required, 27.8% existing, 30.8% proposed). 6. Existing site info taken from "Location Survey Map" by Shark River Land Surveying LLC, Neptune City NJ, dated 2/8/11.				
Zoning: R-2 Lot size = 8,238 sf		Required	Existing	Proposed
Lot Area	8,238 sf	8,238 sf	8,238 sf	8,238 sf
Lot Width	50'	50'	50'	50'
FY Setback (Old Squan Road)	18'	17'	10'	
FY Setback (Spruce Avenue)	20'	27.8'	27.3'	
RY Setback (S)	0'	14.14'	14.14'	
RY Setback (SW)	20'	0.2'	9.3' (+/- 21.0' by new corner)	
Building Height	30' 2-1/2 stories	14-18' 1 story	34' 2-1/2 stories	
Building Coverage	30% (1,880 sf)	27.8% (1,819 sf)	30.8% (2,010 sf)	
Impervious Coverage	45% (2,840 sf)	32.1% (2,097 sf)	42.5% (2,777 sf)	
		* Variance Required		



ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

ATTIC AREA CALCULATIONS:
 2ND FLOOR AREA = 1,215 SF
 ZONING: ALLOWABLE AREA = 5 HT. = 1,215 SF = 72% OF PROPOSED AREA = 5 HT. = 625 SF
 BUILDING: ALLOWABLE AREA = 7 HT. = 1 1/2 = 1,215 SF = 40% OF PROPOSED AREA = 7 HT. = 792 SF



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISION	BY

Tom Petersen • ARCHITECT
 6 COUNTRY LANE • NEW JERSEY 732-736-1783
 732-735-1783 FAX
 MANASQUAN, NJ 08481

**FLOOR PLANS
 SITE PLAN • ZONING INFO**

DATE: 1-15-11
 SCALE: AS SHOWN
 DRAWN BY: TP
 PROJECT #: 1102
 SHEET # 0
 OF 2 SHEETS

AUG 02 2021

OPW _____ CONST _____
PD _____ OTHER _____

July 29, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1650
Variance – Michals
Block 118, Lot 25.02
297 Euclid Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plan of survey prepared by Charles O'Maley, PLS, dated June 3, 2013, which has been modified to show the location of the proposed generator.

The property is located in the R-2 Single-Family Residential Zone with frontage on Euclid Avenue. With this application, the applicant proposes to construct an emergency generator in the westerly side yard. The application is deemed complete as of July 29, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variance is required as part of this application:
 - a. A standby generator must be located in the rear yard and not project beyond the side building lines of the principal building, whereas the proposed generator is to be located within the side yard, outside the building envelope (setback 5 feet from the side property line).
3. The generator must be screened from view of adjacent properties. The applicant should explain how the generator will be screened. It should be noted that there is an existing fence along this side property line.
4. The applicant should indicate if there are any proposed grading changes to the property as a result of the installation of the generator.
5. All necessary building permits must be obtained prior to construction.




Re: Boro File No. MSPB-R1650
Variance – Michals
Block 118, Lot 25.02

July 29, 2021
Sheet 2

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Michael Henderson, esq.
52 Abe Voorhees Drive, PO Box 260, Manasquan, NJ 08736
Jeffrey Michals
2507 Autumn Drive, Wall, NJ 08736

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Jeffrey Michals

Address: 2507 Autumn Drive
Wall, NJ 08736

Phone: 732-539-7302

Property Address: 297 Euclid Avenue
Block 118, Lot 25.02 Zone R-2
Flood Zone: N/A
Manasquan, New Jersey 08736

II. TYPE OF APPLICATION: Bulk Variances

Section 35-9.4

	REQUIRED	EXISTING	PROPOSED	Variance
Area of Lot	5,000 s.f.	15,000 s.f.	15,000 s.f.	No
Percentage of Lot Coverage (Building)	30%	<30%	<30%	No
Percentage of Lot Coverage (Imp)	45%	<45%	<45%	No
Lot Frontage	50 ft.	100 ft	100 ft.	No
Front Setback	25 ft	20.2 ft	25 ft	No
Rear Setback	20 ft	20'10"	20'10" ft	No
Building Height-Stories	35 ft. 2.5 stories	<35 ft 2 Stories	<35 ft 2 stories	No
Side Setback (L)	5ft	5 ft	5.5 ft	No
Side Setback (R)	5 ft	20'3" ft	20'3"	No

Existing Non-Conformity *

Variance Requested **

Section 35-11.8j—Generators—Requires that a standby generator must be located in the rear yard only and not project beyond the side building lines of the principal building.**

III. SITE INFORMATION:

Street Address: 297 Euclid Avenue

Block 118 Lot 25.02

Zoning Districts: R-2

Present Use: One Single Family Residential Dwelling

Proposed Use: One Single Family Residential Dwelling

VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 sq ft

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5 ft

Rear Setback: 20 ft

Max. Bldg. Height: 35 ft

Max Stories: 2 ½

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

V. MISCELLANEOUS:

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes
4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? Yes. See attached Resolution 21-2001.
5. Are there any deed restrictions, easements or covenants affecting the property? Applicant will provide upon receipt.

VI. COMMENT:

Applicant seeks approval to install a standby generator in the side yard.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

7/14/21
Date


MICHAEL D. HENDERSON, ESQ
Attorney for Applicant

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

April 28, 2021

Jeffrey Michals
297 Euclid Avenue
Manasquan, NJ 08736

Re: Block: 118 Lot: 25.02 Zone: R-2

Dear Sir:

On this date we reviewed your application for the following project.

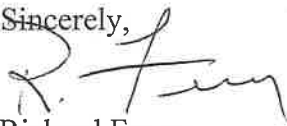
Install a standby generator in the rear yard per a site plan prepared by James Monteforte on September 3,2014.

Application denied for the following reason(s):

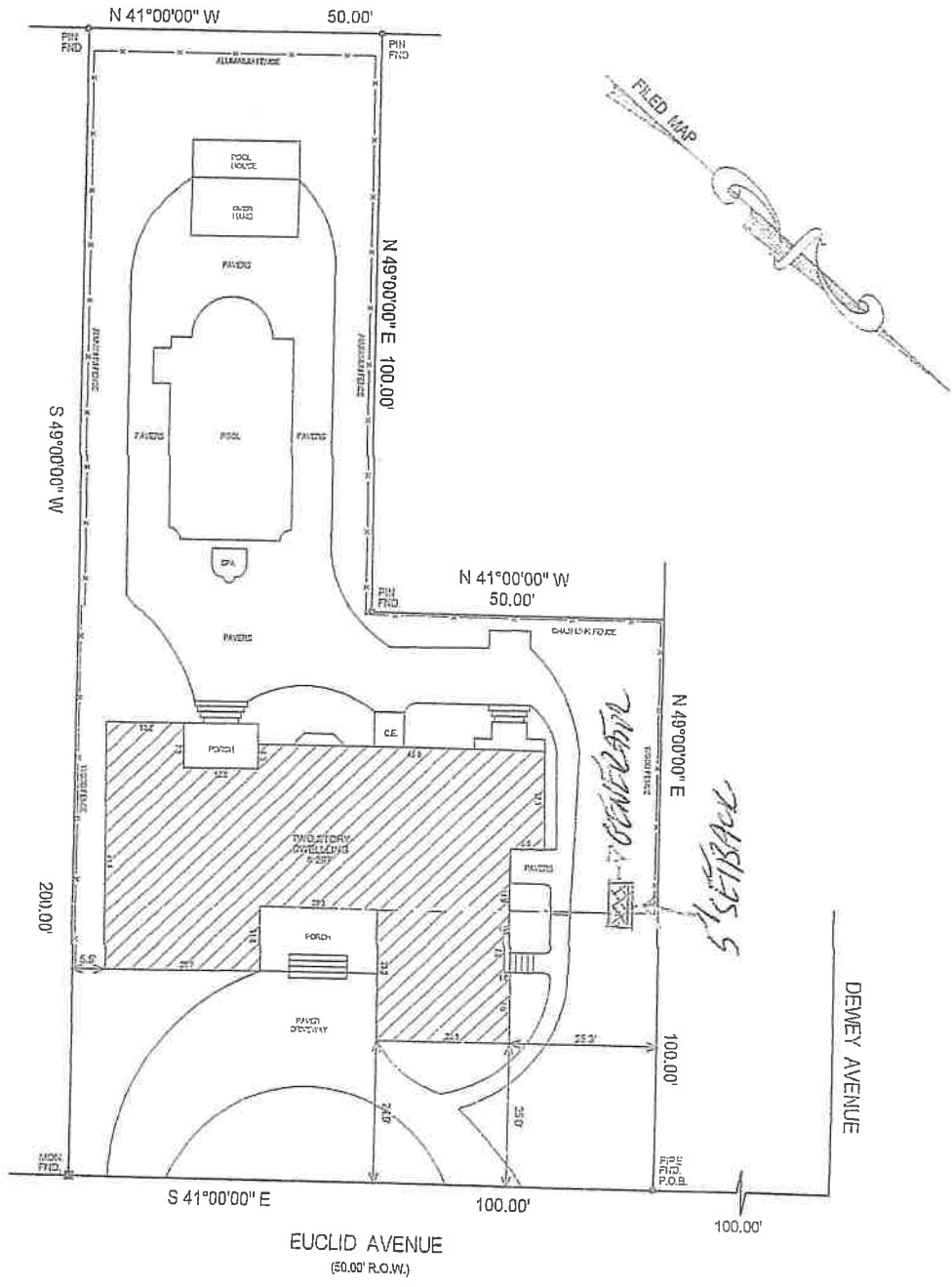
Section 35-11.8j – Requires that a standby generator must be located in the rear yard only and must be setback a minimum of 5ft. from the side property line or within the building line of the principal building whichever is greater.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,




Richard Furey
Zoning/Code Enforcement Officer



THIS SURVEY CERTIFIED TO:
JEFFREY MICHALS & ANASTASIA MICHALS

BEING KNOWN AS LOTS 7, 8, 25, 26, 27 & 28 IN BLOCK 9 ON A MAP ENTITLED
"MAP OF SECTION 1, MANASQUAN SHORES" FILED IN THE MONMOUTH COUNTY
CLERK'S OFFICE ON APRIL 25, 1929 AS CASE 34 SHEET 5.

 CHARLES O'MALLEY , P.L.S. Professional Land Surveyor New Jersey Lic. No. GS34871 908 Riverview Drive Brielle, New Jersey 08730 (732) 223-3141		PLAN OF SURVEY LOT 25.02 BLOCK 118 BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY		<p><small>This survey subject to any easement of record and other pertinent facts which an accurate title search might disclose. Any subsurface easements, if any, not visible are not located by this survey. Due to certain weather conditions i.e. ice, and/or snow and/or the overgrown vegetation on the property, interior sidewalks and/or patios may not be shown on the plat. No liability is assumed by the certifying surveyor for the use by any party not shown in the certification. The work product of the surveyor constitutes an opinion of the land surveyor as to the nature and quality of the property surveyed. Moreover, that certification does not constitute a warranty, either expressed or implied as to the absolute correctness of the information presented in such survey.</small></p>
Drawn By: clom	Checked By: C.O'M.	File No: 13-13235	Date: 5/31/13	Scale: 1"=20'

AUG 02 2021

July 29, 2021
PO _____ CONST _____
OTHER _____

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1660
Minor Subdivision – McCarthy
Block 182.01, Lot 30
557 Brielle Road
R-5 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Subdivision Plan prepared by William Fiore, PLS, of William J. Fiore, Inc., dated June 15, 2020.

Existing Lots 30 contains 6,760.8 square feet and fronts on Brielle Road and Tarpon Avenue. With this application, the applicant intends to create two lots, one containing 3,267.98 square feet with frontage on Brielle Road and one containing 3,492.8 square feet with frontage on Tarpon Avenue.

The application is deemed complete as of July 29, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-5 - Residential Zone, where the existing and proposed residential lots are permitted.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum front yard setback of 10 feet is required, whereas a setback of 4.68 feet exists and is proposed to the existing dwelling to remain on proposed Lot 30.01.
 - b. A minimum side yard setback of 5 feet is required, whereas a setback of 3.13 feet exists and is proposed to the existing dwelling to remain on proposed Lot 30.01.

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3. There are existing dwellings and other improvements on the property which are indicated on the plan as to be demolished. These dwellings and improvements must be removed before the subdivision may be signed by the Planning Board, otherwise multiple variances would be created.
4. The applicant must indicate how driveway access and parking will be provided for the proposed lots, especially on Brielle Road. The proposed improvements will need to replace the curb and sidewalk as for the new driveway apron. A street excavation permit will be required for any new apron and depressed curb located within the borough right-of-way.
5. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements
6. A monument must be set at the intersection of any outside tract boundary that is not currently delineated. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
7. The applicant should be aware that the existing block wall meanders over the property line from adjacent lot 29.
8. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading and front yard landscaping plans will also be required.
9. Separate water and sewer utility connections will be required for both of the proposed lots.
10. The proposed revised lot numbers should be reviewed and approved by the tax office.
11. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board



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Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Albert Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Michael Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
William Fiore, PLS
263 Brick Boulevard, Unit 5, Brick, NJ 08723
Robert McCarthy
557 Brielle Road, Manasquan, NJ 08736

Office: (732) 223-1599
Fax: (732) 223-8802

Manasquan Fire District #1
Office of the Board of Fire Commissioners
38 Taylor Ave
Manasquan, NJ 08736
Member of the New Jersey State
Fire District Association

Hook & Ladder Co. #1
Volunteer Engine Co. #2

Chief Tom Schofield
Deputy Chief Ed Hill
Fire Director Chris Barkalow

Board Members:
Chairman John White
Secretary Carmen Triggiano
1st Vice Chairman Drew Coder
2nd Vice Chairman Brian Wick
Treasurer Jack Herbert

To: Mary C. Salerno, Planning Board Secretary
From: Christopher Barkalow, Fire Marshal
Date: August 5, 2021
Re1: Plan Review – 557 Brielle Rd. (Block: 182.01 – Lot: 30)

As you requested, I have reviewed the planning board application package for 557 Brielle Rd. (Block: 182.01 – Lot: 30) and the site plan prepared by William J. Fiore, dated 6/15/20. The Manasquan Fire Bureau has no concerns with plans as they are submitted.

If you have any questions or comments please feel free to contact me.

Sincerely,



Christopher Barkalow
Fire Marshal

RECEIVED AUG 12 2021

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Robert McCarthy

Address: 557 Brielle Rd.
Manasquan, NJ 08736

Phone: 908-757-3393

**Property Address: 557-559 Brielle Road
Block 182.01, Lot 30, Zone R-5
Manasquan, New Jersey 08736**

II. TYPE OF APPLICATION: Minor Subdivision

Section 32-8.1 Planning Board approval required for proposed subdivision

	REQUIRED	PROPOSED Lot 30.01	PROPOSED Lot 30.02
Lot Frontage	40 ft	50 ft	50.09 ft
Lot Area	2,700 sq ft	3,267.98 SF	3,492.80 SF
Min Front Setback	10 ft	4.68 ft * Existing Non-Conformity	10 ft
Min Side Yard Setback (W)	5 ft	3.13 ft* Existing Non-Conformity	5 ft
Min Side Yard Setback (E)	5 ft	Greater than 5 ft	Will Comply
Min Rear Setback	20 ft	20 ft	20 ft
Max Height	35 ft	Less than 35 ft	35 ft
Max No. Stories	2.5	2	2.5
Building Coverage	35%	Less than 35%	Less than 35%
Lot Coverage	50%	Less than 50%	Less than 50%

****Indicates a need for a variance**

III. SITE INFORMATION:

Street Address: 557-559 Brielle Road

Block 182.01, Lot 30

Zoning Districts: R-5

Present Use: One Single Family Residential Lot

Proposed Use: Two Single Family Residential Lots

VI. ZONE REQUIREMENTS: R-5 Zone

Min. Lot Area: 2,700 sq ft

Min Lot Frontage: 40 ft

Front Yard Setback: 10 ft

Side Setback: 5 ft

Rear Setback: 20 ft

Max. Bldg. Height: 35 ft

Max Stories: 2 ½

Max. Bldg. Coverage: 35%

Max. Lot Coverage: 50%

V. MISCELLANEOUS:


1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes
4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? No
5. Are there any deed restrictions, easements or covenants affecting the property? Not to the Applicant's knowledge.

VI. COMMENT:

Applicant seeks to remove a single family dwelling fronting on Brielle Road and remove two single family dwellings that front on Tarpon Avenue and subdivide Block 182.01, Lot 30 into two fully conforming lots in the R-5 Zone (Proposed Lot: 30.01- 3,267.98 SF and Proposed Lot: 30.02- 3,492 SF).

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

7/14/21
Date



MICHAEL D. HENDERSON, ESQ
Attorney for Applicant

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

June 29, 2021

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 182.01 Lot: 30 Zone: R-5 Flood Zone: AE BFE: 9ft. DFE: 10ft.
McCarthy – 557 Brielle Road

Dear Sir:

On this date we reviewed your application for the following project.

Remove a single family dwelling fronting on Brielle Road and remove two single family dwellings front on Tarpon Avenue and subdivide Block 182.01, Lot 30 into two fully conforming lots in the R-5 Zone. (Proposed Lot: 30.01 – 3,267.98s.f.) – (Proposed Lot: 30.02 – 3,492s.f.).

Minor subdivision plot plan prepared by William Fiore on June 15, 2021.

Application denied for the following reason(s):

Section 32-8.1- Requires Planning Board approval for the proposed minor subdivision.

Proposed Lot 30.01:

Section 35-9.4 – Front Setback – 10ft. Required
4.68ft. Proposed

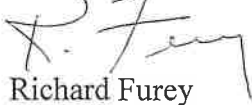
“ - Side Setback (West) – 5ft. Required
3.13 Proposed

Additional required documentation: Lot 30.01

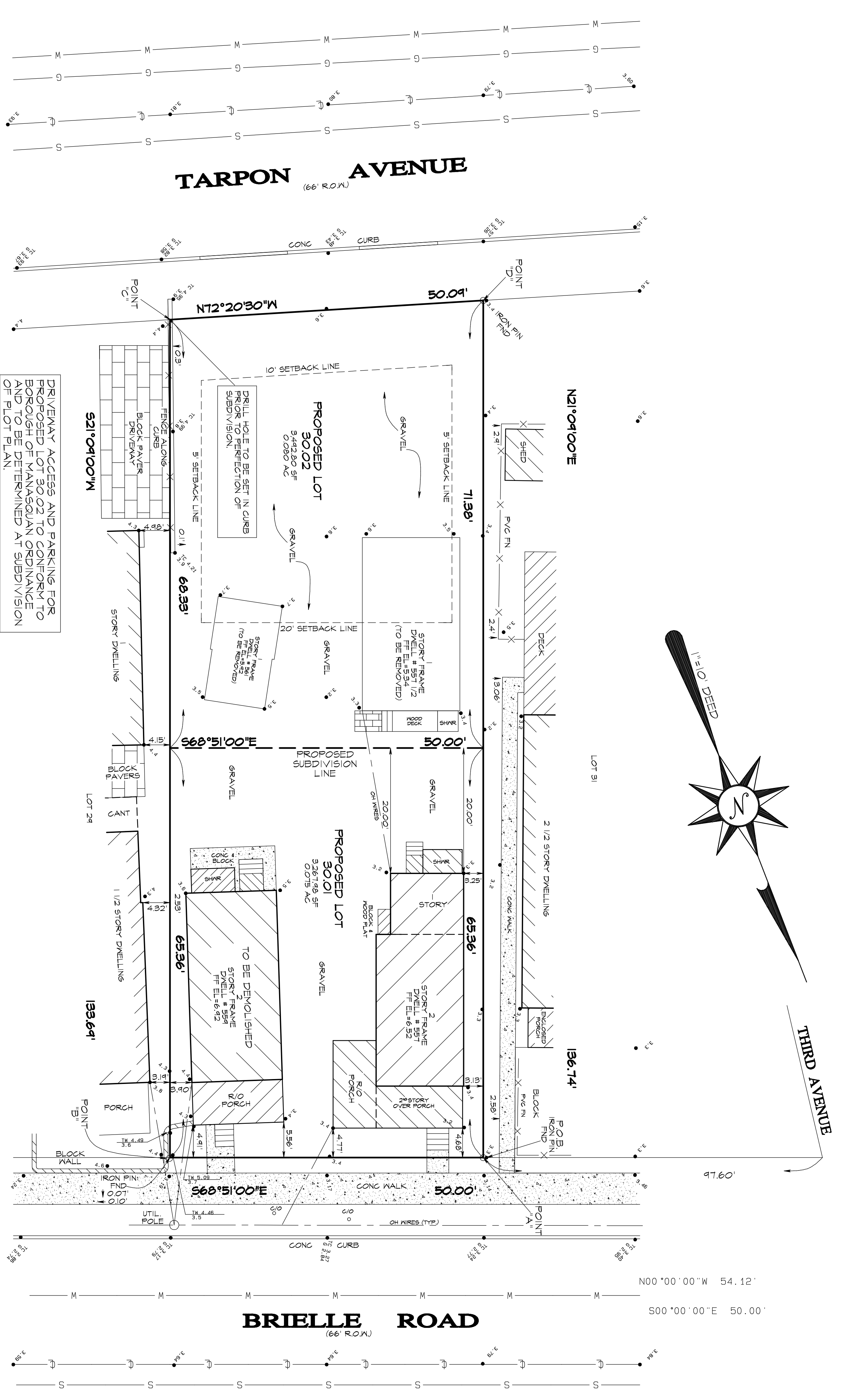
- Plot plan revised to show driveway, curb cut and two onsite parking spaces.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer



DRIVEWAY ACCESS AND PARKING FOR PROPOSED LOT 3002 TO CONFORM TO BOROUGH OF MANASSAQUAN ORDINANCE AND TO BE DETERMINED AT SUBDIVISION OF PLOT PLAN.



A STREET EVACUATION PERMIT IS REQUIRED FOR ANY NEW AFFRON AND DEPRESSED CURB LOCATED WITHIN THE BOROUGH OF MANASSAQUAN RIGHT OF WAY.

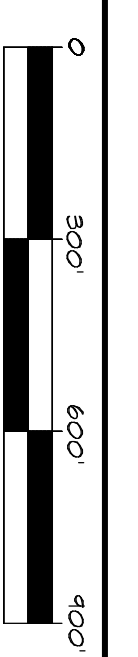
R-5	REQUIRED	PROPOSED LOT 3001	PROPOSED LOT 3002
MIN. LOT AREA	2,700 S.F.	3,267.98 S.F.	3,492.80 S.F.
MIN. FRONTAGE	40 FT	50 FT	50.04 FT
MIN. FRONT SETBACK	10 FT	4.68*	10 FT MIN.
MIN. SIDE SETBACK	5 FT	2.53, 3.13, 3.25, 3.90 FT	5 FT MIN.
MIN. REAR SETBACK	20 FT	20 FT	20 FT MIN.
MAX. HEIGHT (FT./STORIES)	35 FT/2 1/2	2 STORIES	2 STORIES MAX.
MAX BUILDING COVERAGE	35%	LESS THAN 35%	LESS THAN 35%
MAX LOT COVERAGE	50%	50%	LESS THAN 50%

* = EXISTING NONCONFORMING CONDITION

ANY FUTURE CONSTRUCTION ON EITHER OF THE NEW LOTS THAT DOES NOT MEET ZONING REQUIREMENTS (SETBACKS COVERAGE ECT.) WILL REQUIRE A SEPARATE APPLICATION TO THE BOROUGH OF MANASSAQUAN PLANNING BOARD.

POINT	COORDINATE	VALUES
A	NORTH	5000.0000
B	EAST	5000.0000
C	NORTH	4881.9535
D	EAST	5046.5292
E	NORTH	4872.4701
F	EAST	4950.6828

KEY MAP SCALE: 1"=300'



PROPERTY OWNERS WITHIN 200' RAD. OF SITE

- 1) PROPERTY BELIEVED HERSON KNOWN AS LOT 30 BLOCK 182.01 ON THE BOROUGH OF MANASSAQUAN TAX MAP SHEET 1901
- 2) PROPERTY SHOWN HERSON BEING KNOWN AND DESIGNATED AS LOT 30 BLOCK 182.01 AS SHOWN ON A CERTAIN TAX MAP ENTITLED FINAL MAP OF BLOCK 182.01 LANDS OF (1/15) RD 45 (SEE COUNTY SAID MAP BEING FILED IN THE MONMOUTH COUNTY CLERK'S BOOK OR -233 PAGE 8739 RECORDED 12/05/2016.
- 3) DEED DESCRIBED BOOK OR -233 PAGE 8739 RECORDED 12/05/2016.
- 4) OUTBOUND AND TOPOGRAPHIC INFORMATION BASED UPON A FIELD SURVEY DATED 2020.
- 5) SURVEY ACCURACY IS GREATER THAN 1:15000.
- 6) PUBLIC WATER AND SEWER IS AVAILABLE TO THE SITE.
- 7) THE TOTAL AREA BEING SUBDIVIDED IS 6.760171 SF OR 0.155 AC.
- 8) PROPOSED LOT NUMBERS SHOWN HERSON TO BE APPROVED BY THE BOROUGH OF MANASSAQUAN TAX ASSESSORS OFFICE.
- 9) PROPERTY SHOWN HERSON LIES IN THE R-5 RESIDENTIAL ZONE.
- 10) COORDINATE VALUES ARE ASSIGNED.
- 11) OWNER/APPLICANTS: ROBERT MCAGHENTY, ROBERT MCAGHENTY, WILLIAM J. FORE, LAND SURVEYOR, MANASSAQUAN, NJ 08956

FLOOD ZONE INFORMATION

CURRENT: MAP UNIT # 345103
 MAPPING # 3402900456F
 SUFFIX: "A"
 DATE: 9-25-2009
 ZONE: "AE"
 BFE: 8
 PROPOSED: # 345103
 MAP UNIT # 345103
 MAPPING # 3402900456G
 SUFFIX: "C"
 DATE: 1-30-2015
 ZONE: "AE"
 BFE: 9
 ELEVATIONS REFER TO NAVD 88 DATUM

MINOR SUBDIVISION LOT 30 BLOCK 182.01 ON THE BOROUGH OF MANASSAQUAN TAX MAP

(TAX MAP SHEET NO. 30)
 BOROUGH OF MANASSAQUAN
 MONMOUTH COUNTY, NEW JERSEY

CERT. OF AUTH. # 246A27979000
WILLIAM J. FORE, INC.

PROFESSIONAL LAND SURVEYORS
 263 BRICK BLVD., UNIT 5, BRICK, NJ 08723
 TEL. (732) 920-5100 FAX (732) 920-5199

WILLIAM J. FORE, PROFESSIONAL LAND SURVEYOR GS# 35362 DATE 6/15/2020

PROJECT NO. 31201

DRAWN BY: JJP

THIS PLAN WAS FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON _____ DAY OF _____ 2020. THIS PLAN WAS FILED _____ DAYS AFTER THE DATE UPON WHICH THIS PLAN WAS SIGNED BY THE MANASSAQUAN BOROUGH PLANNING BOARD.

PLANNING BOARD SECRETARY _____

I, HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY SHOWN ON THIS MAP AND APPROVE THE FILING THEREOF.

ROBERT MCAGHENTY _____ DAY OF _____ 2020

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2020

NOTARY PUBLIC OF NEW JERSEY _____

MY COMMISSION EXPIRES _____

APPROVED AS A MINOR SUBDIVISION BY THE PLANNING BOARD OF THE BOROUGH OF MANASSAQUAN MONMOUTH COUNTY, NEW JERSEY

DATE: _____

PLANNING BOARD SECRETARY _____

CHAIRMAN _____

SECRETARY _____

ENGINEER _____

MUNICIPAL ENGINEER _____

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF I FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP PLANNING ACT AND THE RECORDATION ACT AND THE PROVISIONS OF THE ZONING ORDINANCE AND I AM SIGNED WITH THE PROVISIONS OF THE RECORDATION ACT AND THE PROVISIONS OF THE ZONING ORDINANCE AND I AM SIGNED WITH THE PROVISIONS OF THE RECORDATION ACT AND THE PROVISIONS OF THE ZONING ORDINANCE.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND THE LAND SURVEY DATED 6/20/20 MEETS THE MINIMUM REQUIREMENTS AND REQUIREMENTS AS PROVIDED BY THE STATE OF NEW JERSEY AND I AM SIGNED WITH THE PROVISIONS OF THE RECORDATION ACT AND THE PROVISIONS OF THE ZONING ORDINANCE AND I AM SIGNED WITH THE PROVISIONS OF THE RECORDATION ACT AND THE PROVISIONS OF THE ZONING ORDINANCE.